



DEVELOPMENT PERMIT NO. DP001006

NANAIMO ABORIGINAL CENTRE
Name of Owner(s) of Land (Permittee)

1406 BOWEN ROAD
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all building structures and other developments thereon:

Legal Description:

**LOT A, SUBURBAN LOTS 8, 9 AND 10, NEWCASTLE TOWNSITE,
SECTION 1, NANAIMO DISTRICT, PLAN EPP7820, EXCEPT PART IN
PLANS EPP8336 & EPP7821**

PID No. 028-341-198

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Location Plan
Schedule B Site Plan
Schedule C Watercourse Setback Diagram
Schedule D Building Elevations
Schedule E Landscape Plan
Schedule F Patio Section
Schedule G Garbage/Recycling Room

4. If the applicant does not substantially commence the development permitted by this permit within two years of the date of this permit, the permit shall lapse.
5. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

TERMS OF PERMIT

The City of Nanaimo "ZONING BYLAW 2011 NO. 4500" is varied as follows:

1. *Section 14.5.3* –to reduce the front yard setback from a major road (Bowen Road arterial) from 8.5m to 1.2m.
2. *Section 14.5.1 – Siting of Buildings* to reduce the rear yard setback from 7.5m to 3m.
3. *Section 17.3.4* – to reduce the minimum setback for a garbage enclosure from an adjacent property zoned residential use from 3m to 0m.
4. *Section 17.3.3.2* – to eliminate the requirement for screening with plants around a garbage enclosure.
5. *Section 17.11 – Minimum Landscape Treatment Level 2d* to reduce the landscape width from 1.8m to 0m for approximately 30m along the rear property line; and, to eliminate the requirement for planting along the same portion as shown on the landscape plan.
6. *Section 17.11 – Minimum Landscape Treatment Level 1d* to reduce the landscape width along the front property line from 1.8m to 1.2m.

The City of Nanaimo "DEVELOPMENT PARKING REGULATIONS BYLAW 2005 NO. 7013" is varied as follows:

1. *Schedule A* - to reduce the required number of parking spaces from 41 parking spaces to 18 parking spaces.

CONDITIONS OF PERMIT

1. The subject property is developed in accordance with the site plan prepared by DYS Architecture, dated 2016-OCT-06, as shown on Schedule B.
2. The development is in general compliance with the elevations prepared by DYS Architecture, dated 2016-JUN-10, as shown on Schedule D.
3. The development is in general compliance with the fencing and garbage enclosure details prepared by DYS Architecture, dated 2016-OCT-05 and 2016-OCT-06, as shown on Schedules E and G.
4. The development is in general compliance with the landscape plan and specifications prepared by Victoria Drakeford Landscape Architect dated 2017-JAN-05, as shown on Schedule E.

5. The 30m watercourse setback is to be fenced with a continuous environmental fence (post and rail) and signage. The fence is to be installed along both the western boundary of the watercourse setback within the subject property and the southern boundary abutting the Bowen Road right-of-way.
6. A housing agreement is to be registered on the property title prior to building occupancy. The housing agreement will specify the number of units available for income assistance recipients, and the number of units available for low income earners.

AUTHORIZING RESOLUTION PASSED
BY COUNCIL THE 6TH DAY OF FEBRUARY, 2017.

Sky Snelgrove
D/ Corporate Officer

February 10, 2017
Date

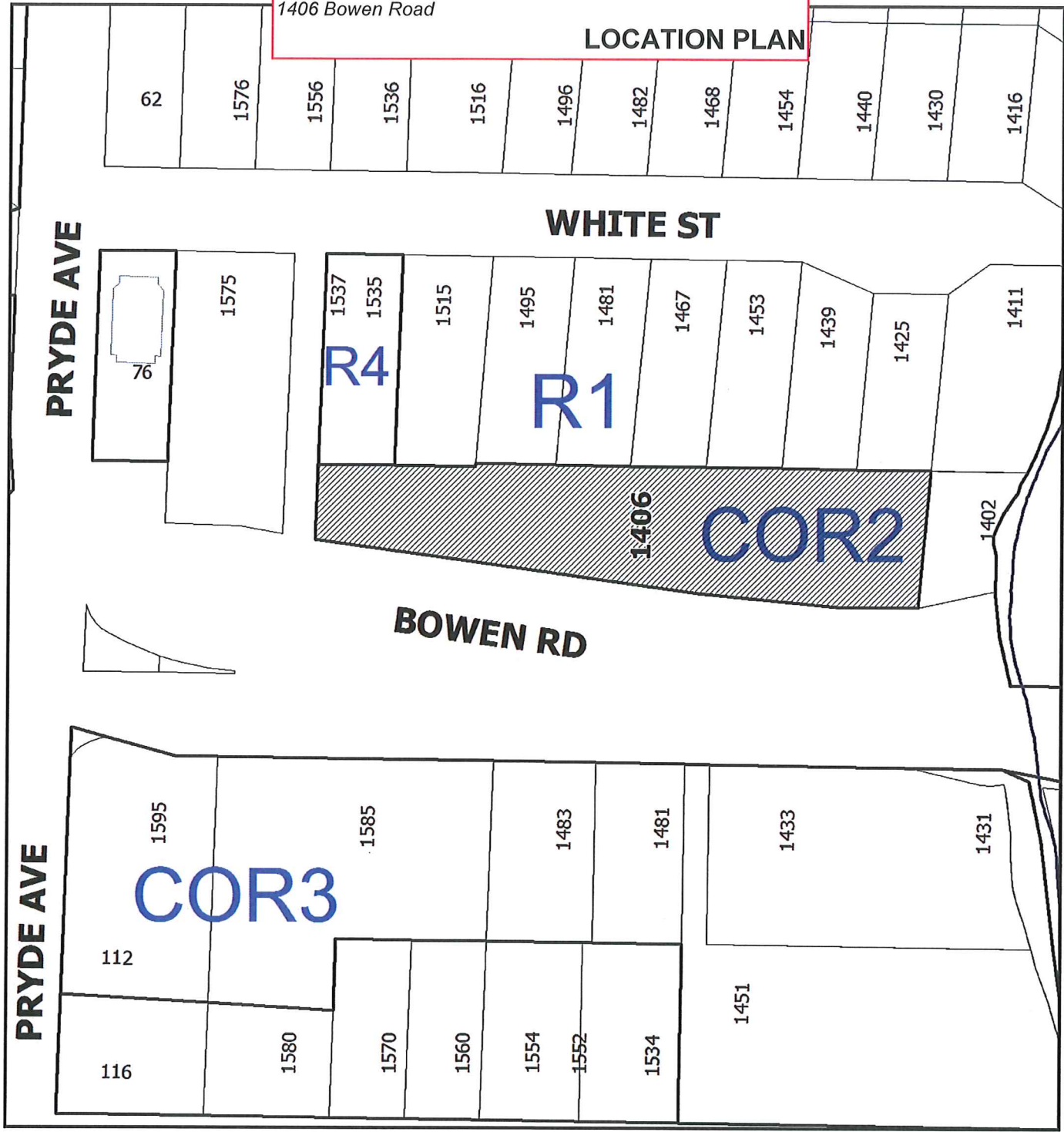
Sky Snelgrove
Deputy Corporate Officer
City of Nanaimo

GN/in

Prospero attachment: DP001006

Development Permit DP001006 Schedule A
1406 Bowen Road

LOCATION PLAN



DEVELOPMENT PERMIT NO. DP001006

LOCATION PLAN



 **Subject Property**

Civic: 1406 Bowen Road
Lot A, Suburban Lots 8, 9 and 10, Newcastle Townsite,
Section 1, Nanaimo District, Plan EPP7820 except part in
Plan EPP8336 and EPP7821

CLIENT



- NO. | DATE | ISSUE
- 1 | 16-04-14 | ISSUED FOR DP
 - 2 | 16-10-06 | ISSUED FOR RP
 - 3 | 16-10-21 | ISSUED FOR ARCH REVIEW
 - 4 | 17-01-18 | ISSUED FOR PERMITS
 - 5 | 17-01-18 | COMMENTS

NO. | DATE | REGION

Development Permit DP001006
 1406 Bowen Road

Schedule B

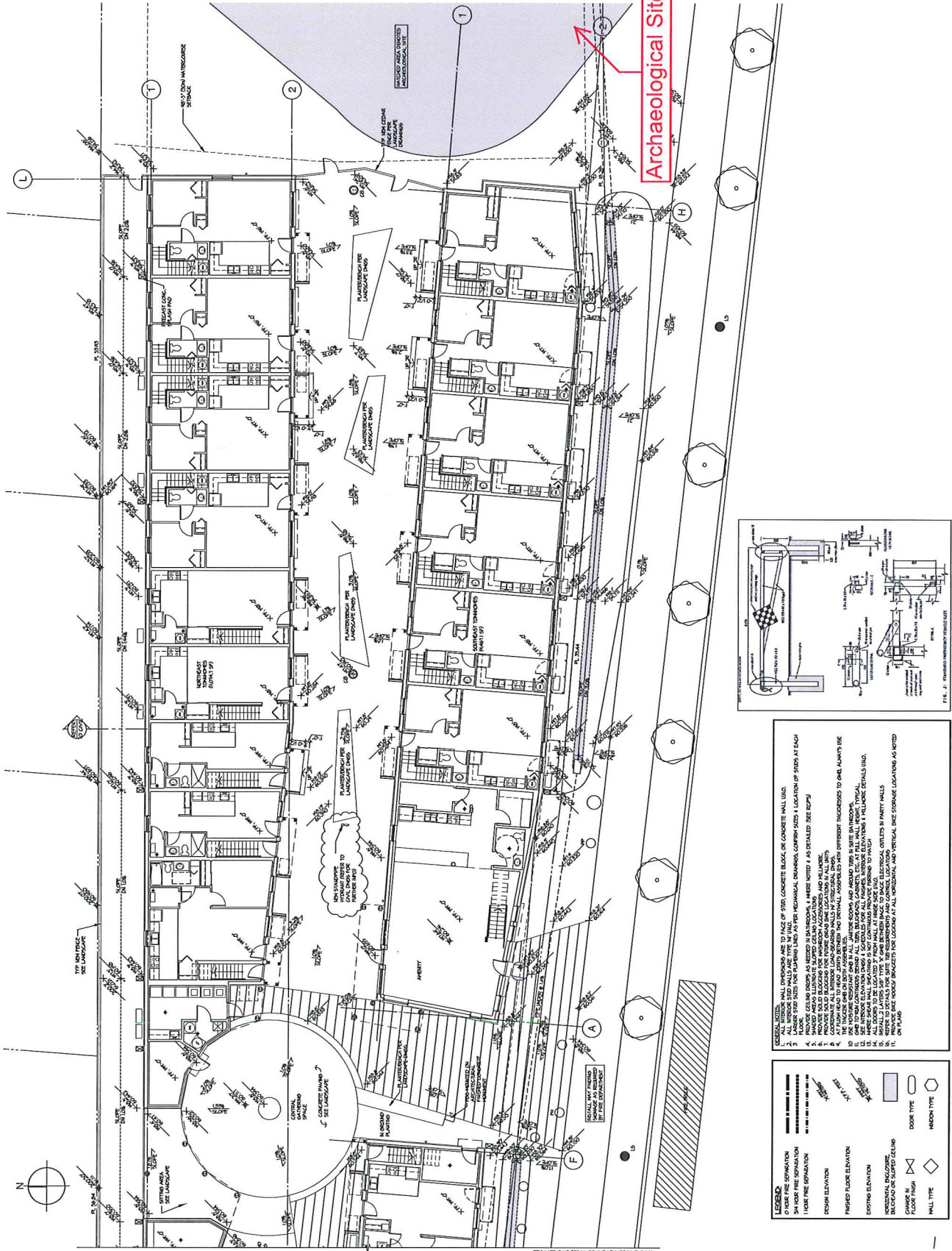
SITE PLAN

PROJECT
 NANAIMO ADDITIONAL CENTRE
 1406 BOWEN ROAD
 NANAIMO, BC

GRADING PLAN - EAST

A1.03

PROJECT ACTS 118 CHECKED DS
 DRAWN BY
 SCALE 1/8" = 1'-0"
 DATE OCT 06, 2018



GENERAL NOTES:

1. ALL INTERIOR WALL DIVISIONS ARE TO FINISH OF 3/8" CONCRETE BLOCK OR CONCRETE MULL VOID.
2. PROVIDE 2" MIN. CLEARANCE BETWEEN ALL PARTITIONS AND EXTERIOR WALLS.
3. PROVIDE 2" MIN. CLEARANCE BETWEEN ALL PARTITIONS AND EXTERIOR WALLS.
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20. PROVIDE 2" MIN. CLEARANCE BETWEEN ALL PARTITIONS AND EXTERIOR WALLS.

LEGEND

3/4 HOUR FIRE SEPARATION	DOOR TYPE	INDOOR TYPE
1 HOUR FIRE SEPARATION	CHAMFER FLOOR FINISH	MULL TYPE
PERIM ELEVATION		
FINISHED FLOOR ELEVATION		
EXISTING ELEVATION		
MULTIPLE LEVELS/ROOF CEILING		
CHAMFER FLOOR FINISH		
MULL TYPE		
INDOOR TYPE		



Development Permit DP001006

1406 Bowen Road

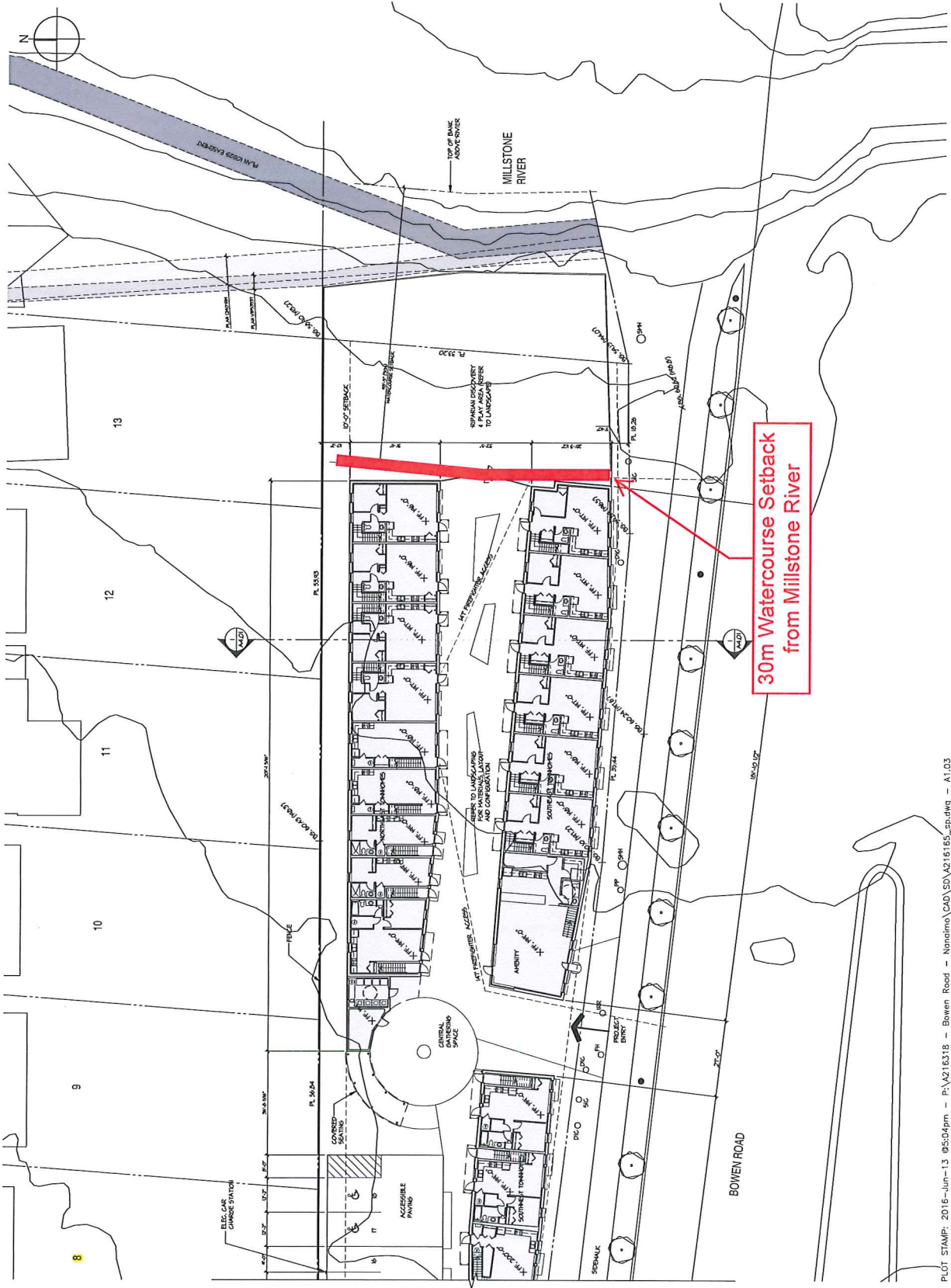
WATERCOURSE SETBACK DIAGRAM

Schedule C

This drawing is not to be used for any other project without the written consent of the architect. It is the responsibility of the client to ensure that all information provided is accurate and up to date. The architect is not responsible for any errors or omissions in this drawing. The architect is not responsible for any construction or other work that may be required to implement the design shown in this drawing. The architect is not responsible for any other work that may be required to implement the design shown in this drawing.

When Approved, All the conditions set forth herein shall be strictly adhered to. The architect is not responsible for any construction or other work that may be required to implement the design shown in this drawing. The architect is not responsible for any other work that may be required to implement the design shown in this drawing.

PROJECT A210318
 DRAWN DI
 CHECKED DS
 SCALE 1/16" = 1'-0"
 DATE APRIL 18, 2015



30m Watercourse Setback from Millstone River

CLIENT



Development Permit DP001006
 1406 Bowen Road
 1/3

Schedule D

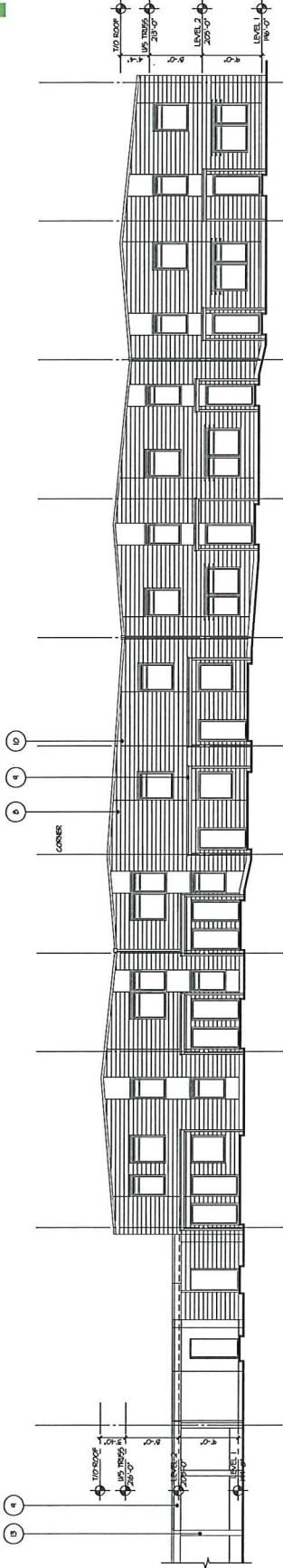
BUILDING ELEVATIONS

PROJECT
 NANAIMO ORIGINAL CENTRE
 1406 BOWEN ROAD
 NANAIMO, BC

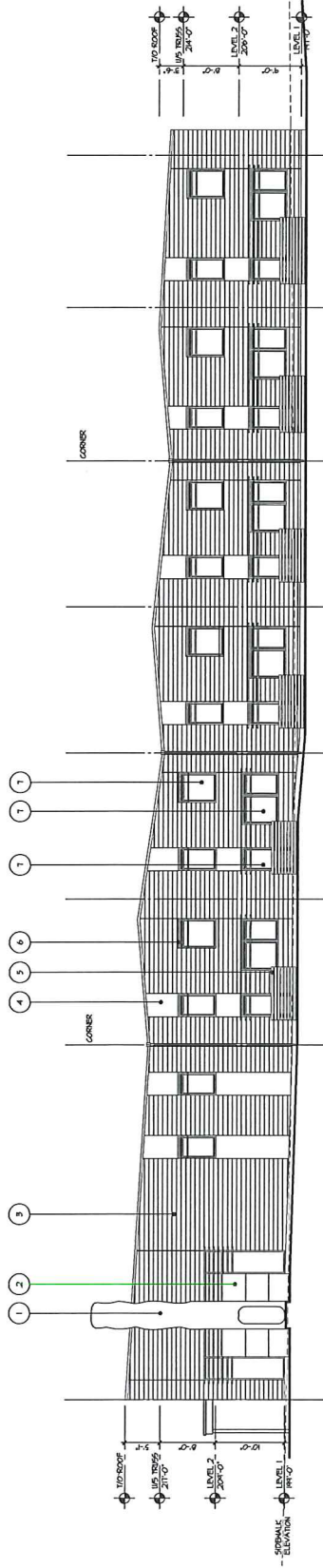
BUILDING ELEVATIONS
 SOUTH ELEVATION

PROJECT A210318
 DRAWN TT
 CHECKED DS
 SCALE 1/8" = 1'-0"
 DATE JUN 10, 2016

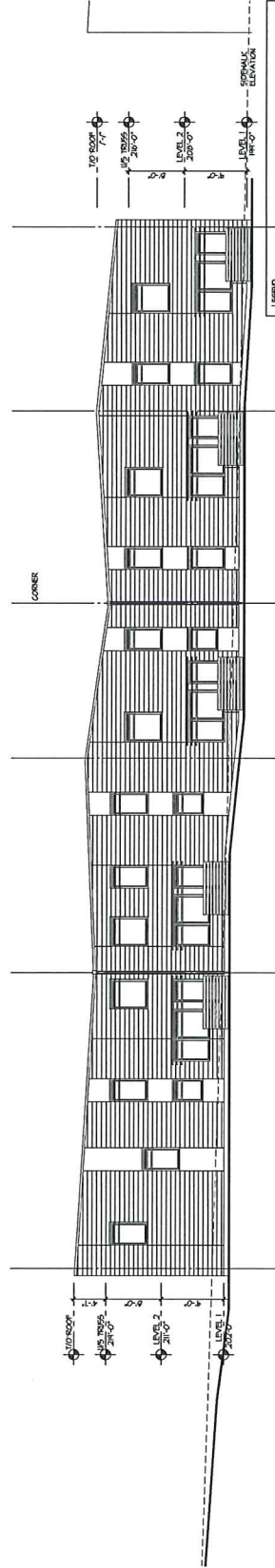
A3.01



1 NORTH TOWNHOMES



2 SOUTH EAST TOWNHOMES



3 SOUTH WEST TOWNHOMES

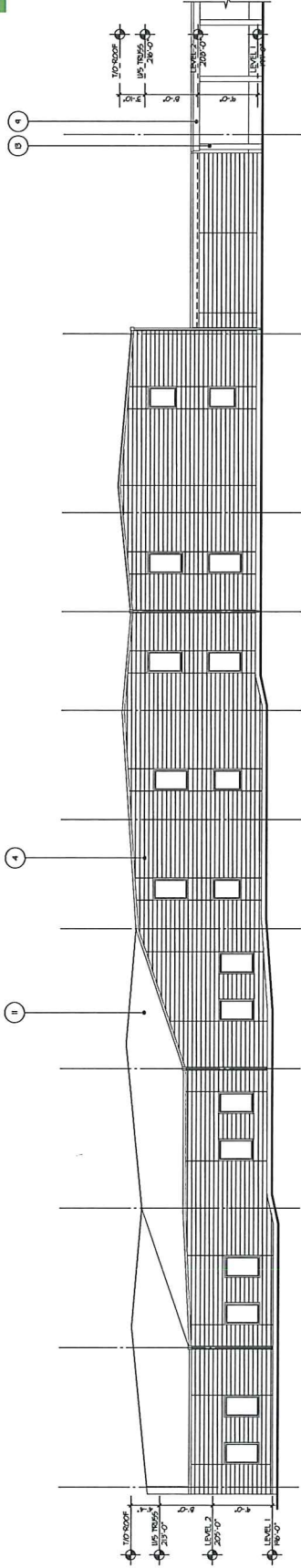
- LEGEND
- 1. WALL PAINT
 - 2. GYPSUM BOARD
 - 3. HORIZONTAL CEDAR SHIP-LAP SIDING
 - 4. HORIZONTAL CEDAR SHIP-LAP SIDING
 - 5. CEDAR FENCE
 - 6. SW SHADING
 - 7. METAL ROOF
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CLIENT

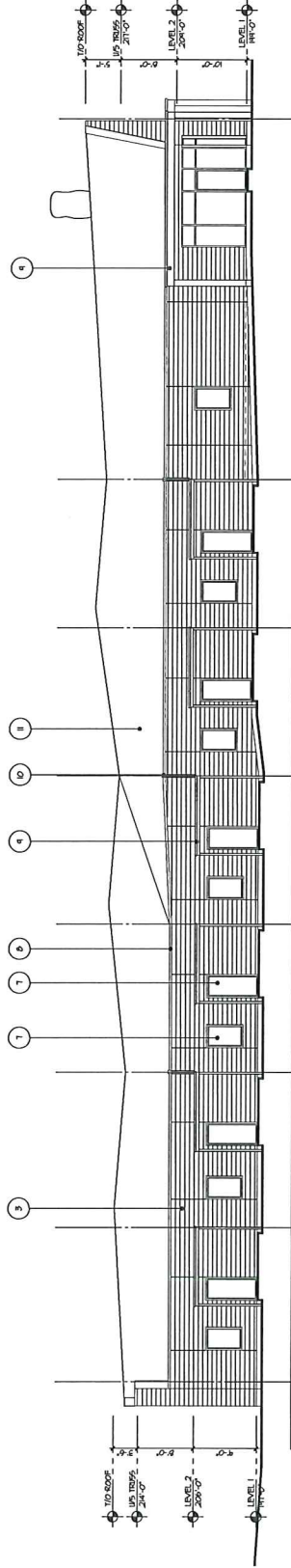


NO. | DATE | ISSUE
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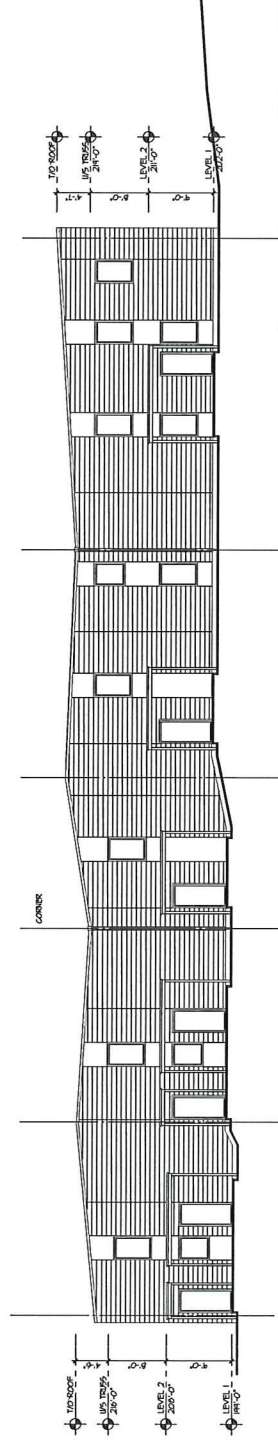
NO. | DATE | REVISION



1 NORTH TOWNHOMES



2 SOUTH EAST TOWNHOMES



3 SOUTH WEST TOWNHOMES

LEGEND

1. METAL CLADDING	1. METAL CLADDING, INDOORWOOD
2. CEDAR PANEL	2. METAL CLADDING
3. HORIZONTAL CEDAR SHIP-LAP SIDING	3. CANOPY STRUCTURE
4. HORIZONTAL CEDAR SHIP-LAP SIDING	4. HORIZONTAL ROOF
5. CEDAR FENCE	5. HORIZONTAL CEDAR SHIP-LAP SIDING (INT)
6. SHIP-LAP SIDING	6. SHIP-LAP SIDING

PROJECT
 NANAIMO PASSIVE HOUSE
 1406 BOWEN RD
 NANAIMO, BC

BUILDING
 NORTH ELEVATIONS

PROJECT A216318
 DRAWN TT
 CHECKED DS

SCALE 1/8" = 1'-0"
 DATE JUNE 10, 2016

A3.02

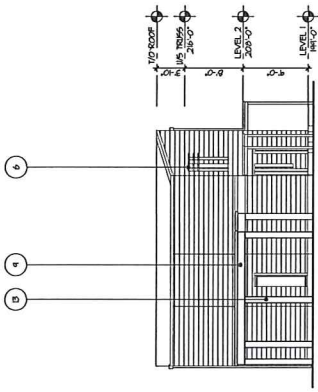
CLIENT



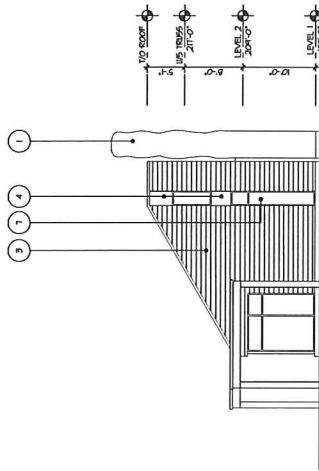
**NANAIMO
 ABORIGINAL
 CENTRE**

NO. | DATE | ISSUE
 1 | 16-06-14 | ISSUED FOR DP

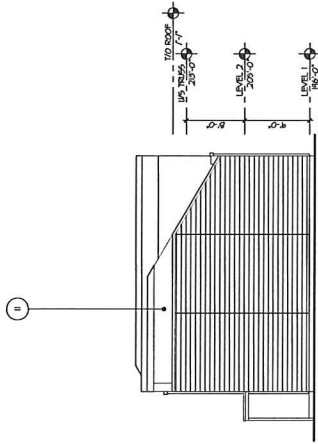
NO. | DATE | REVISION



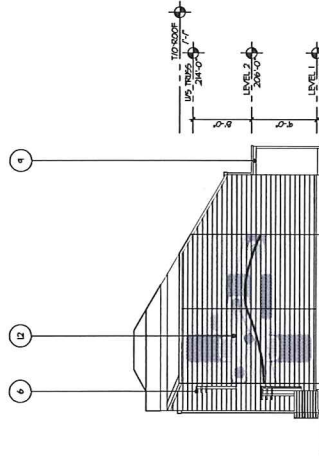
1A NORTH TOWNHOMES - WEST ELEV.



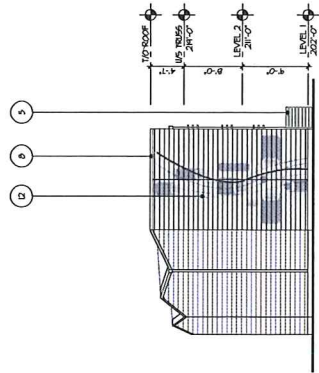
2A SOUTH EAST TOWNHOMES - WEST ELEV.



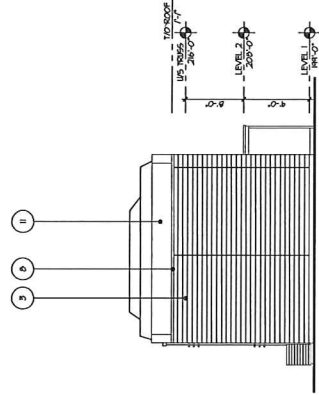
1B NORTH TOWNHOMES - EAST ELEV.



2B SOUTH EAST TOWNHOMES - EAST ELEV.



3A SOUTH WEST TOWNHOMES - WEST ELEV.



3B SOUTH WEST TOWNHOMES - EAST ELEV.

LEGEND

1	WALL & GIRD VENT, WINDOW/DOOR
2	WOOD PANEL
3	HORIZONTAL CEDAR SHIP-LAP SIDING
4	CEDAR FINISH
5	SHIP-LAP SIDING
6	WOOD PANEL
7	WALL & GIRD VENT, WINDOW/DOOR
8	CANTY FINISH
9	HORIZONTAL CEDAR SHIP-LAP SIDING
10	CEDAR FINISH
11	SHIP-LAP SIDING
12	WOOD PANEL

3 of 3

PROJECT
NANAIMO PASSIVE HOUSE
 1406 BOWEN RD
 NANAIMO, BC

**BUILDING
 WEST/EAST ELEVATIONS**

This drawing set was prepared in accordance with the requirements of the Building Act and the Building Code of Canada. It is intended for use in the construction of the building. The architect is not responsible for the accuracy of the information provided in this drawing set. The architect is not responsible for the accuracy of the information provided in this drawing set.

PROJECT A21618
 DRAWN TT
 CHECKED DS
 SCALE 1/8" = 1'-0"
 DATE JUNE 10, 2016

A3.03

Landscape Concept Plan

Bowen Road Passive House

Development Permit DP001006
1406 Bowen Road

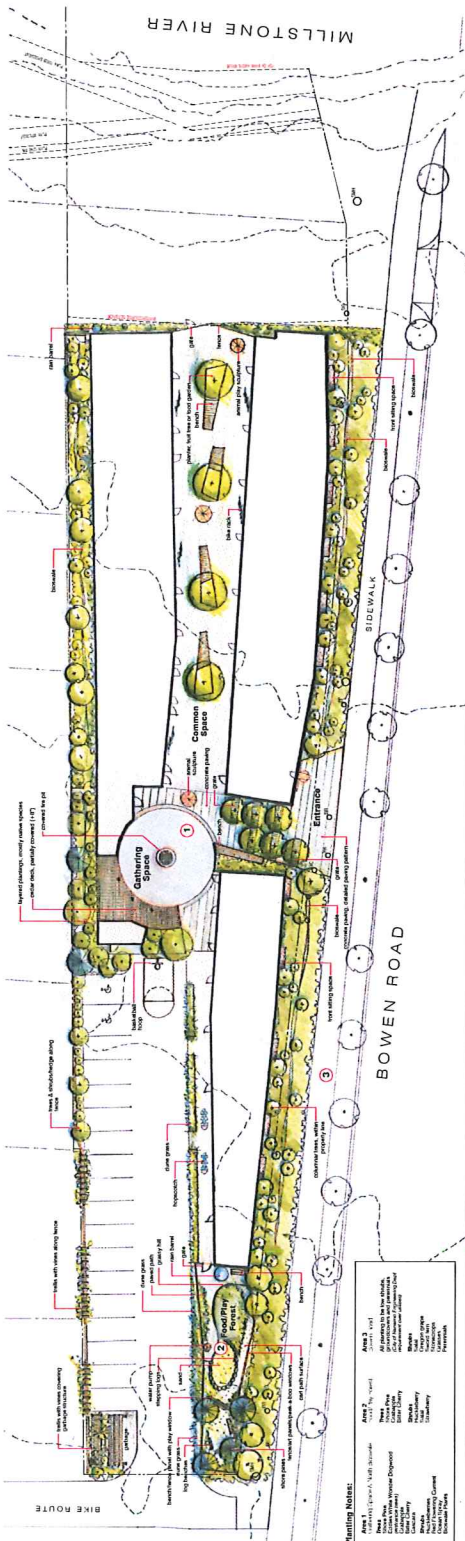
Schedule E

LANDSCAPE PLAN

SCALE 1/8" = 1'-0"
DATE October 5, 2016
REISSUED April 6, 2017

PREPARED BY
Victoria Drakeford Landscape Architect
290 Pine St. Newsum, BC V6K 2M6
VICTORIA, BRITAIN COLUMBIA
402.341.1212

Kate Steinfik Studio
2927 BAY STREET
VICTORIA, BC V8M 5C8
779.451.1888
kate@katestudio.com



Plant List

Botanical Name	Common Name
Abies concolor	Blue Spruce
Abies balsamica	Christmas Tree
Abies nordmanniana	Nordmann Spruce
Abies pinsapo	Spanish Spruce
Abies procera	Fir
Abies sibirica	Siberian Spruce
Abies veitchii	Veitch Spruce
Abies ziyadensis	Ziyad Spruce
Abies alba	Silver Spruce
Abies concolor	Blue Spruce
Abies balsamica	Christmas Tree
Abies nordmanniana	Nordmann Spruce
Abies pinsapo	Spanish Spruce
Abies procera	Fir
Abies sibirica	Siberian Spruce
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Abies procera	Fir
Abies sibirica	Siberian Spruce
Abies veitchii	Veitch Spruce
Abies ziyadensis	Ziyad Spruce
Abies alba	Silver Spruce

The Places:

- Central Courtyard**
 - The central courtyard sits, together with the building, to form the heart of the community. The roof courtyard invites people from the Bowen House entrance into the open circles.
 - Formal events. The covered area can be used as a stage for formal events.
 - Accessible covered fire pit can be used for special occasions.
- Front Play Forest**
 - Play area with water, fire, and loose objects are set amongst indigenous plants.
- Bowen Road Streetscape**
 - Street trees and landscaping to create a sense of place and identity.
 - Small outdoor tables provide south facing "escape" from either end of the building and from the central courtyard, entrance space.

Design Elements

- Fence and garden/benches:**
 - related to the architecture and for the buildings
 - children (from running club Bowen Road).
 - benches/benches have been placed to give residents some place to sit and a place to play.

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Design Elements

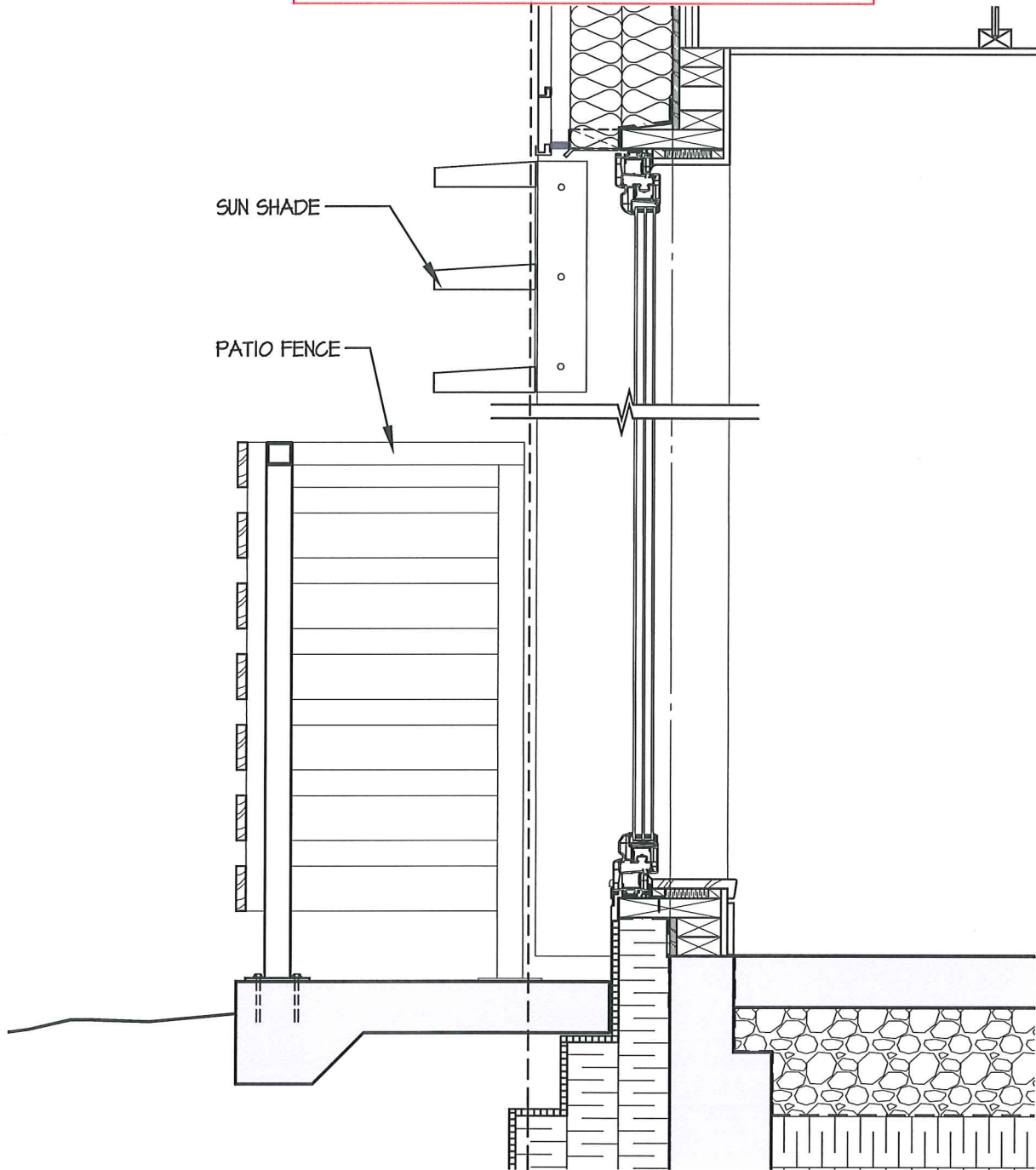
- Fence and garden/benches:**
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Design Elements

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Development Permit DP001006 Schedule F
1406 Bowen Road

PATIO SECTION



SUN SHADE

PATIO FENCE

dys architecture

260 - 1770 Burrard Street Vancouver BC V6J 3G7
tel 604.669.7710 www.dysarchitecture.com

This drawing, as an instrument of service, is the property of dys architecture and may not be reproduced without their permission and provided always that any production carries their name. All designs and other information shown on this drawing are for use on the specified project only and shall not be used otherwise without written permission of dys architecture. Payment of all sums due to dys architecture up to the date of use of this drawing is a condition precedent to the use thereof.

Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and dys architecture shall be informed of any variations from the dimensions and conditions shown on the drawings. Shop drawings shall be submitted to dys architecture for review before proceeding with fabrication.

NO. | DATE | ISSUE

RECEIVED

By Current Planning at 3:38 pm, Nov 08, 2016

PATIO SECTION
AT BUILDING SETBACK

PROJECT
NANIMIO PASSIVE HOUSE
1406 BOWEN ROAD
NANAIMO, BC

CLIENT

PROJECT A216318 REV
SCALE 1" = 1'-0" DRAWN DI
DATE OCT. 5, 2016 CHECKED DS

ASK-01

Development Permit DP001006
1406 Bowen Road

Schedule G

GARBAGE / RECYCLING ROOM

RECEIVED
By Council Planning

PROJECT
NANAIMO
1406 BC
NANAIMO

GARBAGE/
RECYCLING ROOM

CHECKED DS
PROJECT 21/05/11
DRAWN AS SHIPWAY
SCALE 1:100 (1:50)
DATE 10/10/2016

